

Q1 2023

Clark Market Report

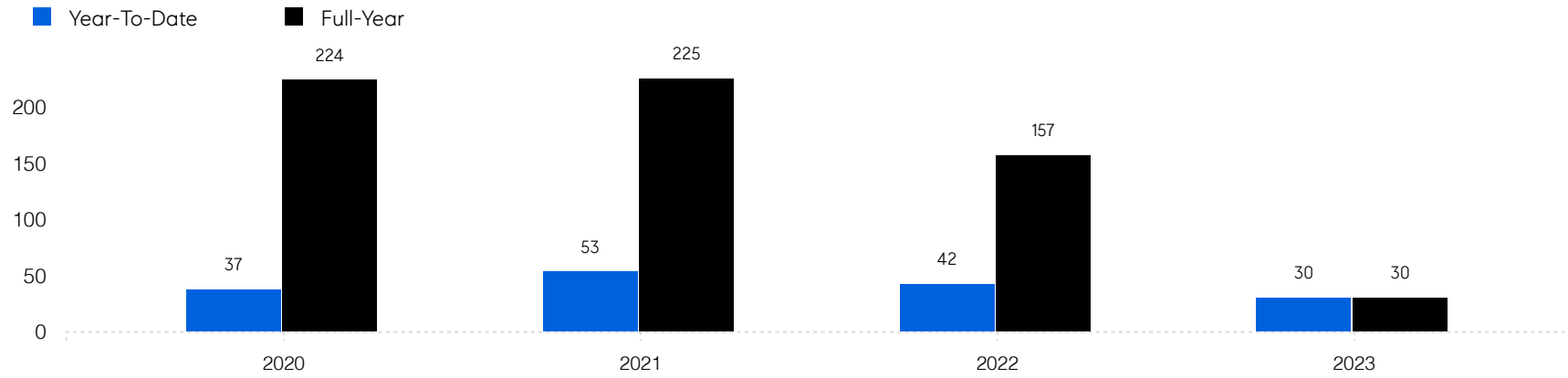
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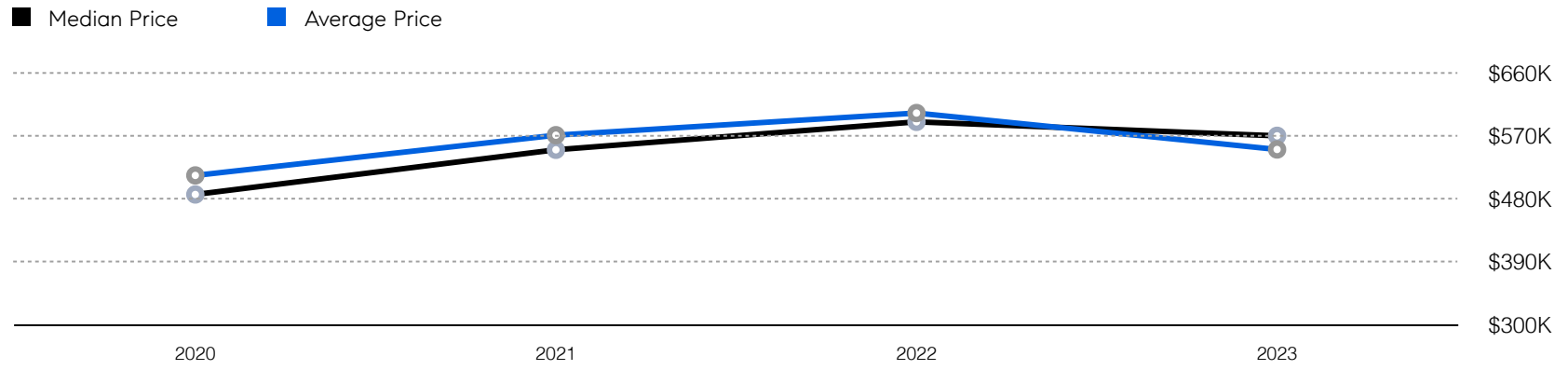
		YTD 2022	YTD 2023	% Change
Single-Family	# OF SALES	35	24	-31.4%
	SALES VOLUME	\$22,596,075	\$14,074,611	-37.7%
	MEDIAN PRICE	\$605,000	\$577,500	-4.5%
	AVERAGE PRICE	\$645,602	\$586,442	-9.2%
	AVERAGE DOM	41	48	17.1%
	# OF CONTRACTS	27	22	-18.5%
	# NEW LISTINGS	37	25	-32.4%
Condo/Co-op/Townhouse	# OF SALES	7	6	-14.3%
	SALES VOLUME	\$2,203,000	\$2,438,500	10.7%
	MEDIAN PRICE	\$250,000	\$342,500	37.0%
	AVERAGE PRICE	\$314,714	\$406,417	29.1%
	AVERAGE DOM	26	39	50.0%
	# OF CONTRACTS	3	5	66.7%
	# NEW LISTINGS	5	6	20.0%

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Historic Sales



Historic Sales Prices



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Source: Garden State MLS, 01/01/2021 to 03/31/2023
Source: NJMLS, 01/01/2021 to 03/31/2023
Source: Hudson MLS, 01/01/2021 to 03/31/2023

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